

SHEET ABBREVIATIONS

AB	ANCHOR BOLT	GA	GAUGE	REINF	REINFORCED
ADJ	ADJACENT	GFCI	GROUND FAULT INTERRUPTER	RM	ROOM
ALUM	ALUMINUM	GALV	GALVANIZED	RWD	REDWOOD
BM	BEAM	GL	GLASS	S	SOUTH
BOW	BOTTOM OF WALL	GYP	GYPSONUM	SB	SET BACK
BLKG	BLOCKING	H	HIGH OR HEIGHT	SF	SQUARE FOOT
BRD	BOARD	HB	HOSE BIBB	SHTHG	SHEATHING
CC	CENTER TO CENTER	JTS	JOIST	SHWR	SHOWER
CL	CENTERLINE	LAV	LAVATORY	SIM	SIMILAR
CEM	CEMENT	LB	POUND	SIMP	'SIMPSON'
CER	CERAMIC	LIN	LINEN	SLD	SLIDING
CJ	CONTROL JOINT	LT	LIGHT	S&P	SHELF & POLE
CLG	CEILING	MANF	MANUFACTURER	STRUCT	STRUCTURAL
CLR	CLEAR	MAX	MAXIMUM	T	TREAD
CLO	CLOSET	MC	MEDICINE CABINET	TEMP	TEMPERED
CO	CLEANOUT	MIN	MINIMUM	TOC	TOP OF CONCRETE
CONC	CONCRETE	MTL	METAL	TOG	TOP OF GRADE
CONTIN	CONTINUOUS	N	NORTH	TOF	TOP OF FLOOR
DBL	DOUBLE	O/	OVER	TOP	TOP OF PAVEMENT
DF	DOUGLAS FIR	OC	ON CENTER	TOS	TOP OF SLAB
DI	DRAIN INLET	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	TOW	TOP OF WALL
DIA	DIAMETER			TV	TELEVISION
DR	DOOR	O	OWNER SELECTED	TYP	TYPICAL
DW	DISH WASHER	PB	PUSH BUTTON	UCR	UNDER COUNTER REFRIG.
E	EAST	PH	PHONE	W	WEST
EL	ELEVATION	PL	PLATE	W/	WITH
EQ	EQUAL	POC	POINT OF CONNECTION	WC	WATER CLOSET
FF	FINISH FLOOR	PT	PRESSURE TREATED	WD	WOOD
FIX	FIXTURE	R	RISER	WH	WATER HEATER
FLUOR	FLUORESCENT	REF	REFRIGERATOR	WP	WATER PROOF
FP	FIRE PLACE			WWM	WELDED WIRE MESH

REMODEL/ADDITION:

114 COTTAGE

Exhibit B

Greyscale Homes, LLC

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Owners:
ALLSTATE RENOVATIONS, INC
7500 W 151ST ST, 24347
OVERLAND PARK, KS 66203
TEL: 913.915.2818
EMAIL: TTM@ALLSTATEINNOVATIONS.COM

APN: 011-221-001



EXISTING

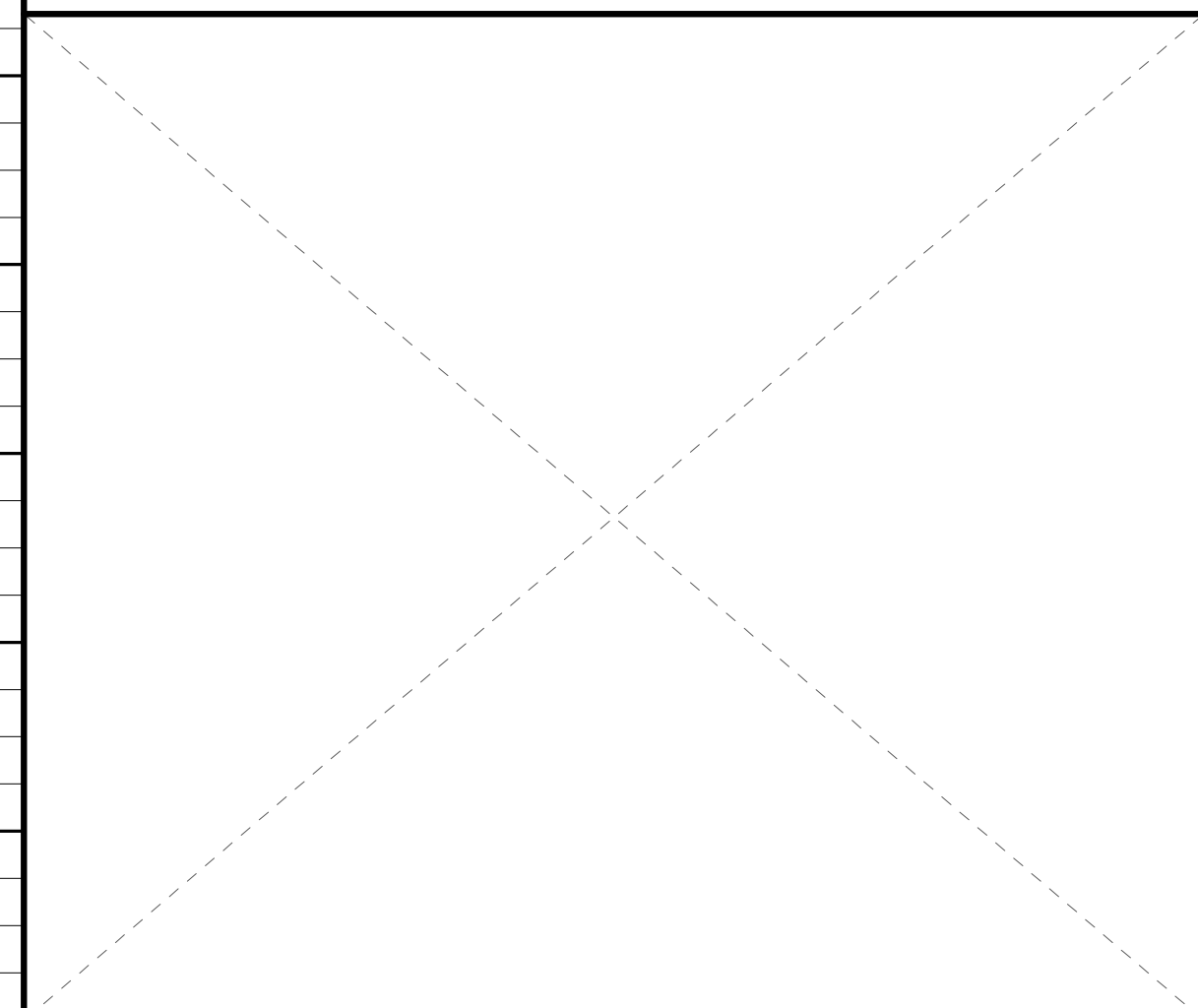


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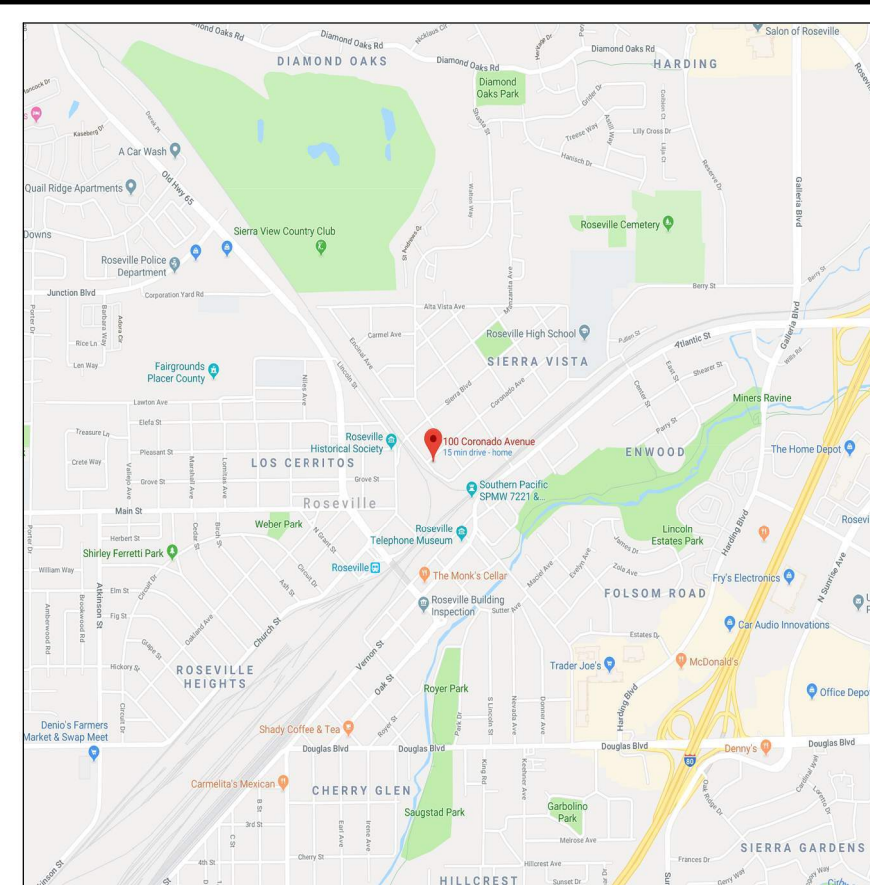
PROJECT DIRECTORY

DESIGNER	GREYSCALE HOMES, LLC 5515 PACIFIC STREET, 2292 ROCKLIN, CA 95677 TEL: 916-862-1660
STRUCTURAL ENGINEER	SABOO, INC. 1606 MONTCLAIR PLACE, BRENTWOOD, CA 94513 TEL: 626-260-2849
MEP ENGINEER	CARSTAIRS ENERGY, INC. 2238 BAYVIEW HEIGHTS DRIVE, SUITE E LOS OSOS, CA 93402 TEL: 805-904-9048
CIVIL ENGINEER	N/A
FIRE SPRINKLER	N/A
TRUSS DESIGNER	ESTIFRAME TECHNOLOGIES, INC 10471 GRANT LINE ROAD, 100 ELK GROVE, CA 95624 TEL: 916-719-1559
GEOTECHNICAL ENGINEER	N/A

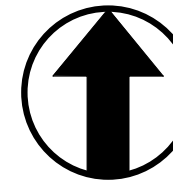
ADDITIONAL NOTES



PROJECT VICINITY MAP



AERIAL VIEW



PROJECT LOCATION:
114 ROSEVILLE STREET,
ROSEVILLE, CA 95678

APN: 011-221-001

PROJECT INFORMATION

APPLICABLE BUILDING CODE:	2016 CALIFORNIA BUILDING CODE (CBC) 2016 CALIFORNIA RESIDENTIAL CODE (RCR) 2016 CALIFORNIA MECHANICAL CODE (CMC) 2016 CALIFORNIA PLUMBING CODE (CPC) 2016 CALIFORNIA ENERGY CODE (CEC) 2016 CALIFORNIA GREEN BUILDING CODE (CGBS) 2016 CALIFORNIA ENERGY CODE (2016 CALIFORNIA ENERGY STANDARDS AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION).
OCCUPANCY GROUP:	R-3/U
CONSTRUCTION TYPE:	TYPE V-B ONE LEVEL (NON-FIRE-SPRINKLED)
ZONE:	R3
BUILDING JURISDICTION:	PLACER COUNTY (CITY OF ROSEVILLE)

PROJECT SCOPE

114 - SCOPE INCLUDES: ADDITION TO EXISTING STRUCTURES FOR ADDITIONAL SQUARE FOOTAGE, REMOVE AND REBUILD ROOF, REPLACE WINDOWS, RE-FINISH EXTERIOR WITH NEW MATERIALS AND COLORS, REMOVE EXISTING ROOFTOP CONDENSOR AND REPLACE WITH MINI SPLIT SYSTEM, REPLACE TANK WATER HEATER WITH GAS-FIRED TANKLESS.

AREA CALCULATIONS

NAME	(E) AREA	(N) AREA	NET CHANGE
CONDITIONED			
(E) RESIDENCE (100)	1005 SF	1005 SF	0 SF
(E) RESIDENCE (114)	517 SF	517 SF	0 SF
(E) RESIDENCE (114A)	517 SF	517 SF	0 SF
ADDITION 2 (114)	0 SF	384 SF	384 SF
ADDITION (114A)	0 SF	412 SF	412 SF
CONDITIONED	2039 SF	2835 SF	796 SF
UNCONDITIONED			
(E) COVERED PORCH	140 SF	154 SF	14 SF
COVERED PATIO (114)	0 SF	92 SF	92 SF
COVERED PATIO (114A)	0 SF	44 SF	44 SF
FUTURE GARAGE & STORAGE	0 SF	600 SF	600 SF
UNCONDITIONED	140 SF	891 SF	751 SF
TOTAL:	2179 SF	3726 SF	1547 SF

LOT SIZE			LOT COVERAGE					
(E) SF	(N) SF	CHANGE	(E) SF	(E) %	(N) SF	(N) %	CHANGE (SF)	CHANGE (%)
10854 SF	10854 SF	0 SF	2179 SF	20.08%	3726 SF	34.33%	1547 SF	14.25%

LOT COVERAGE INCLUDES ALL BUILDINGS ON THE SITE

SHEET INDEX

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A2.22	114 - LEVEL-1 DIMENSIONS
A2.23	114 - LEVEL-1 UTILITY PLAN
A2.24	114 - ROOF PLAN
A4.11	SCHEDULES
A4.12	SCHEDULES
A5.01	PERSPECTIVE VIEWS
A5.02	PERSPECTIVE VIEWS
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A5.22	114 - ELEVATIONS
A5.23	114 - ELEVATIONS
A5.24	114 - ELEVATIONS
A6.12	114 - BUILDING SECTIONS
A7.11	TYPICAL DETAILS
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S2.0	114 - SHEARWALL PLAN
S3.0	114 - ROOF FRAMING PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS
SD3	STRUCTURAL DETAILS

ARCHITECTURAL SYMBOLS

#	GRIDLINE	1 A101	SECTION	LAP SIDING	CARPET
W/H	WINDOW TAG	1 A101	DETAIL	ASPHALT SHINGLE ROOFING	EARTH
D101	DOOR TAG	△	REVISION	STONE	CONCRETE
R#	ROOM TAG	Name Elevation	SPOT ELEVATION	EXTERIOR CEMENT PLASTER	TILE
#	PROPOSED KEYNOTE	1 SHEET 1	ELEVATION	FIBER-CEMENT SHINGLES	SS METAL
⊕	EXISTING KEYNOTE			PROJECT NORTH (GRAY)	BATTEN ON BOARD
				TRUE NORTH (BLACK)	

REMODEL/ADDITION:
114 COTTAGE
114 ROSEVILLE STREET,
ROSEVILLE, CA 95678



TITLES:
COVER SHEET

PLAN CHECK PC01
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PRINT DATE/TIME: 10/30/2019 2:02:15 PM

SHEET:
A0.11

Exhibit B

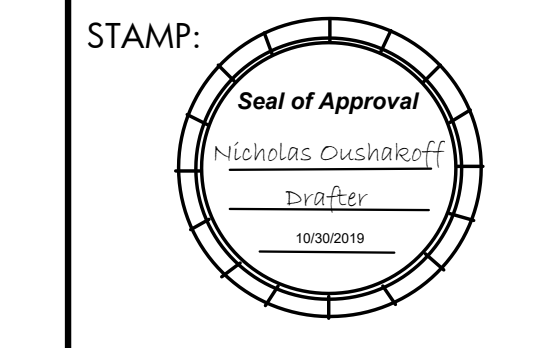


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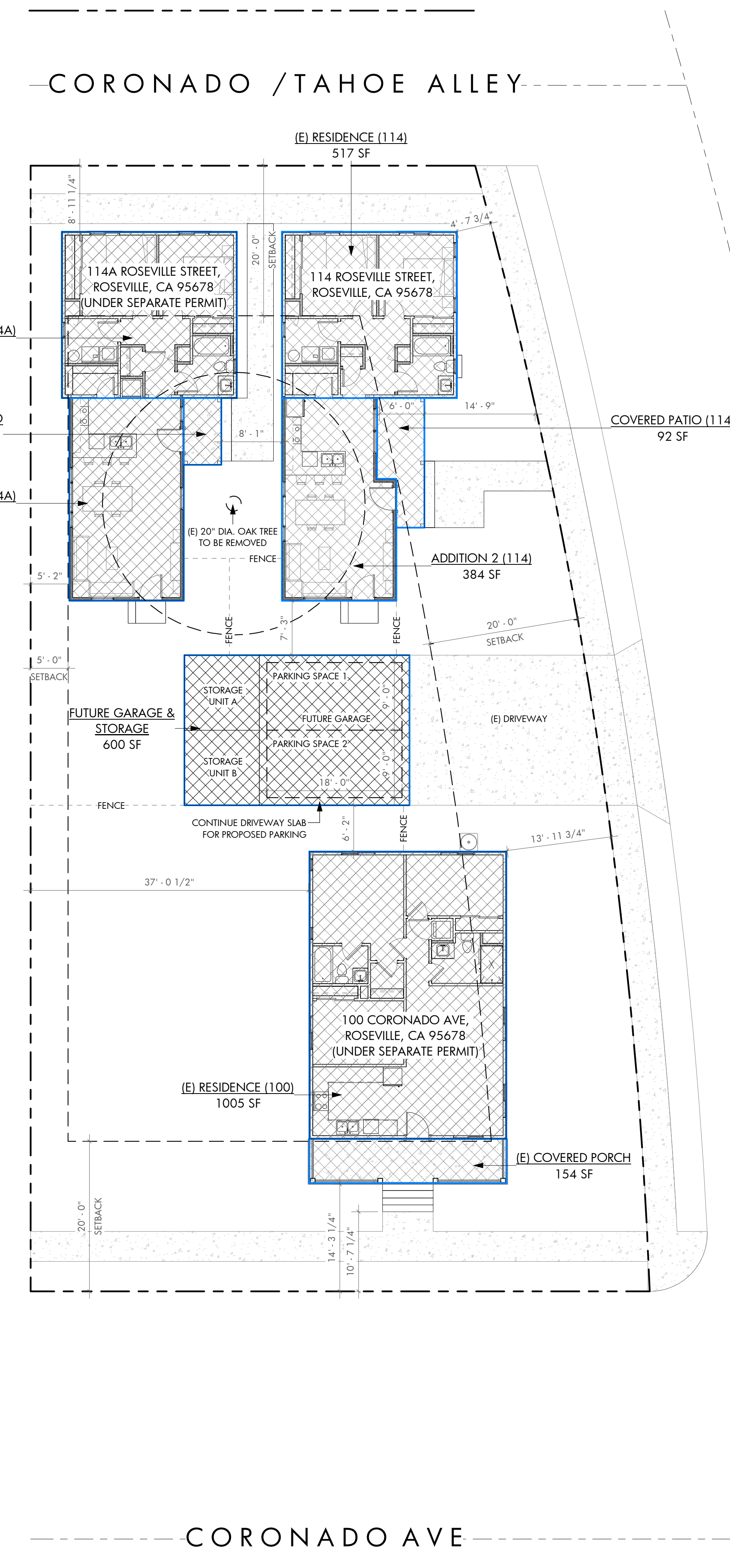
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TITLES:
 SITE PLAN

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A1.11



- SITE PLAN NOTES:**
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
 - THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPs) WHEN AND WHERE APPLICABLE.
 - DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.
 - FLOOD ZONE 'X' PANEL 0180.
 - NO PERMANENT STRUCTURE (INCLUDING WITHOUT LIMITATION GARAGES, PATIOS, CONCRETE SLABS, TOOL SHED, ROOF OVERHANGS AND SIMILAR STRUCTURES) SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OR ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS.
 - STORM WATER PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE INITIAL PHASE OF CONSTRUCTION ACTIVITY. PROJECTS SHALL PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE THROUGH THE USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.
 - SITE SHALL BE GRADED TO PREVENT SURFACE WATER FROM ENTERING BUILDINGS. SITE PLANS SHALL INDICATE HOW THE SITE GRADING WILL MANAGE SURFACE FLOWS. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%).
 - IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT (2%) AWAY FROM THE FOUNDATION.

LEGEND: SITE PLAN

	PROPOSED LOT COVERAGE		EXISTING LOT COVERAGE
	CONCRETE		RAINWATER DETENTION SITE
	PROPERTY LINE		VEHICLE STAGING & STORAGE AREA
	ROAD CENTERLINE		STREET LIGHT
	SETBACK LINE		EXISTING WATER METER
	(E) SIDEWALK		EXISTING SEWER CLEANOUT
	(E) GAS LINE		TELEPHONE POLE
	(E) ELECTRICAL		
	(E) SEWER LINE		
	(E) WATER LINE		

SITE PLAN PARAMETERS:

Exhibit B

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 114 ROSEVILLE STREET,
 ROSEVILLE, CA 95678



TITLES:
 114 - LEVEL-1 DEMO PLAN

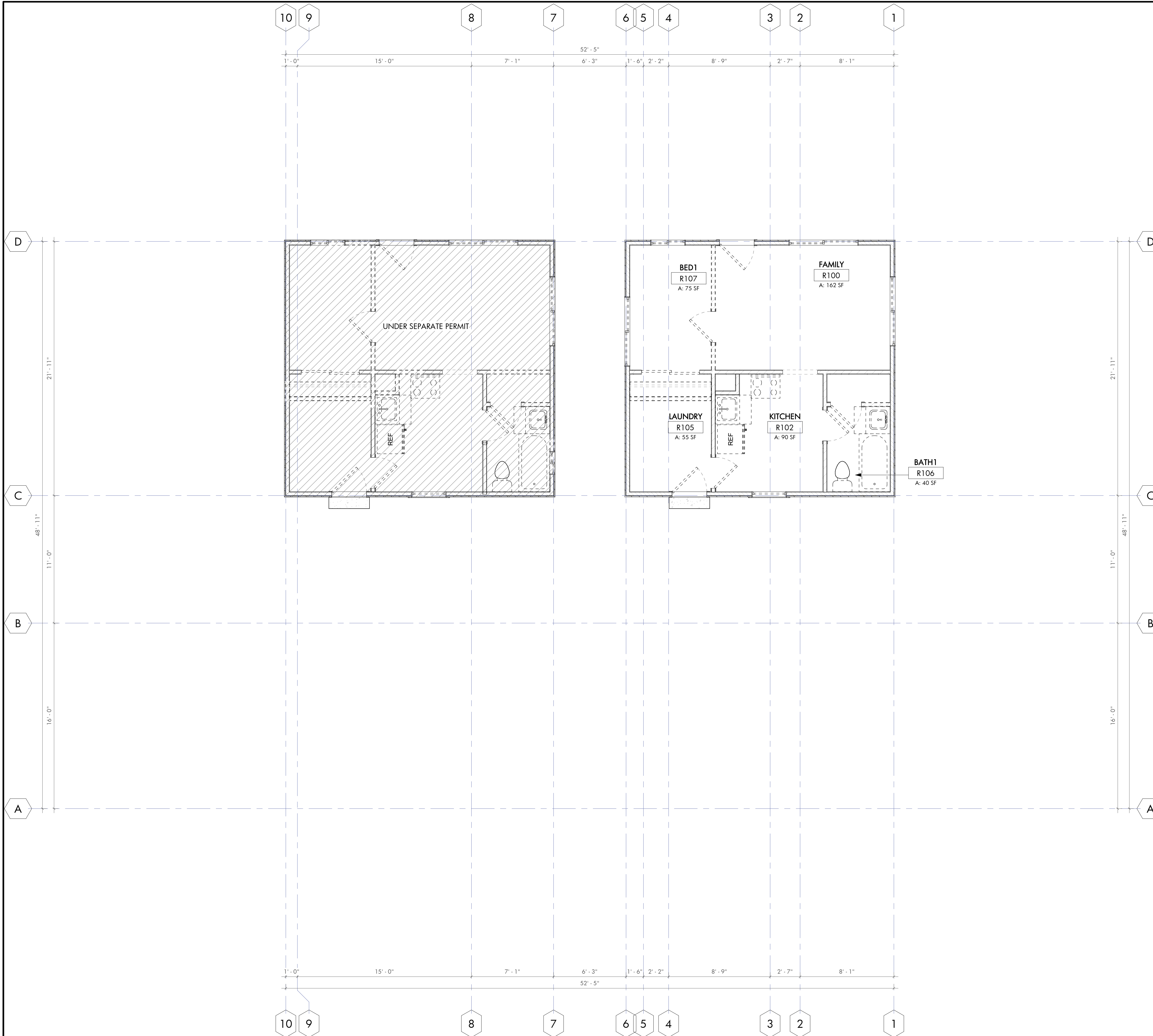
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A2.20

LEGEND: DEMOLITION PLAN

- EXISTING INTERIOR WALL CONSTRUCTION: 2X4 D.F. STUDS @ 16" O.C. WITH GYP BRD INSIDE. PATCH AND REPAIR ANY DEMOLITION WORK (FINISH AS SPECIFIED ON FINISH SCHEDULE), TYP. U.N.O.
- EXISTING INTERIOR WALL DEMOLITION: DEMO AS SHOWN, CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR AFFECTED AREAS TO REMAIN (FINISH AS SPECIFIED ON FINISH SCHEDULE), TYP. U.N.O.
- EXISTING EXTERIOR WALL DEMOLITION: DEMO AS SHOWN, CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR AFFECTED AREAS TO REMAIN (FINISH AS SPECIFIED ON FINISH SCHEDULE), TYP. U.N.O.
- EXISTING DOOR DEMOLITION: REMOVE AS SHOWN, CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR AFFECTED AREAS TO REMAIN (FINISH AS SPECIFIED ON FINISH SCHEDULE), TYP. U.N.O.
- EXISTING WINDOW DEMOLITION: REMOVE AS SHOWN, CONTRACTOR TO VERIFY REQUIRED DEMO EXTENTS BEFORE BEGINNING WORK. PATCH AND REPAIR AFFECTED AREAS TO REMAIN (FINISH AS SPECIFIED ON FINISH SCHEDULE), TYP. U.N.O.

DEMOLITION PLAN NOTES:
 IN THE CASE THAT EXISTING HVAC AND PLUMBING RELOCATION IS REQUIRED, ACTUAL EXISTING LOCATIONS AND REROUTING TO BE DONE BY A LICENSED PROFESSIONAL PER CPC 2016.



114 LEVEL-1 DEMO PLAN
 1/4" = 1'-0"

Exhibit B



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 ROSEVILLE, CA 95678



TITLES:
 114 - LEVEL-1 FLOOR PLAN

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A2.21

LEGEND: FLOOR FINISH	
	NEW INTERIOR WALL CONSTRUCTION 2x4 STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER. SEE STRUCTURAL SHEETS FOR LOCATION AND TYPE OF ADDITIONAL SHEET PANEL REQUIREMENTS. SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH. U.N.O.
	NEW EXTERIOR WALL CONSTRUCTION 2x4 STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER. SEE STRUCTURAL SHEETS FOR LOCATION AND TYPE OF ADDITIONAL SHEET PANEL REQUIREMENTS. SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH. U.N.O.
	DOORS: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE SHEETS FOR ABBREVIATIONS. MATERIAL: AS SELECTED BY OWNER, U.N.O. FRAME: AS SELECTED BY OWNER, U.N.O. HARDWARE: AS SELECTED BY OWNER, U.N.O.
	WINDOWS: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE FOR TYPES. EGRESS: ALL EGRESS WINDOWS SILL HEIGHTS SHALL NOT BE GREATER THAN 44" A.F.F. HEAD HEIGHT: 8'-0" A.F.F. (U.N.O.)
	CASED OPENING: ARCH OPENING W/ DECORATIVE WOOD TRIM. COLOR AS SELECTED BY OWNER.
	EXT CONCRETE PAD: 1" LENGTH TO MATCH DOOR X 36" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ EXTERIOR DOORWAYS AND GRADE-MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4" 12" AWAY FROM BUILDING EDGE. PROVIDE 7/8" MAX STEP FOR INSWINGING DOORS AND 1" MAX FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD. (TYP)
	SHOWER ENCLOSURE: MAKE/MODEL - AS SELECTED BY OWNER SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 72" (MIN) ABOVE DRAIN INLET SLOPING 1/4" 12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC. PROVIDE PRESSURE VALVE OR THERMOSTATIC MIXING VALVE TO LIMIT WATER TEMPERATURE TO 120 DEGREES FAHRENHEIT PER SEC. 418, CBC. WATER USAGE FOR SINGLE SHOWERHEADS: ≤ 2.0 GPM @ 80 PSI. WATER USAGE FOR MULTIPLE SHOWERHEADS: ≤ COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
	CABINETS: MAKE/MODEL - AS SELECTED BY OWNER COUNTER TOPS: MAKE/MODEL - AS SELECTED BY OWNER BACKSPASHES: MAKE/MODEL - AS SELECTED BY OWNER CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS.
	SHELF & POLE: MAKE/MODEL - AS SELECTED BY OWNER SEE: 12 / A7.11
	WASHER AND DRYER: MAKE/MODEL - AS SELECTED BY OWNER REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR CF 100 SQ. IN. IS REQUIRED FOR ROOMS CONTAINING A DRYER AND SHALL COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE. SEE: 13 / A7.11
	REFRIGERATOR: MAKE/MODEL - AS SELECTED BY OWNER 33" CLEAR SPACE. PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER. PROVIDE ELECTRICAL OUTLET AT +42".
	KITCHEN SINK: MAKE/MODEL - AS SELECTED BY OWNER DBL. BOWL W/ GARBAGE DISPOSAL & AIR GAP FOR DISHWASHER. MAX 8" BOWL DEPTH. PROVIDE LEVER TYPE HARDWARE. WATER USAGE: ≤ 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM.
	RANGE: MAKE/MODEL - AS SELECTED BY OWNER 30" WIDE. GAS. PROVIDE MICROWAVE WITH BUILT-IN HOOD, LIGHT, AND FAN TO EXTERIOR. PROVIDE MIN 15" WIDE CUTTING BOARD IN ADJACENT CABINET. HOOD. VENT DIRECTLY TO OUTSIDE EXHAUSTING A MIN. OF 100 CFM. CMC AND ENERGY CODE. THE FAN MUST BE LISTED AT 3 SONE OR LESS. RATING MUST BE BASED ON A .25 WATER COLUMN OR GREATER. COMPLIANCE 4.6.5, 4.6.7 & ASHRAE 62.2
	DISHWASHER: MAKE/MODEL - AS SELECTED BY OWNER 24" WIDE X 24" DEEP W/ AIR GAP.
	WATER CLOSET: MAKE/MODEL - AS SELECTED BY OWNER WATER CLOSET STALLS SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" CLEAR WIDTH AND SHALL HAVE A CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL NOT LESS THAN 24" U.N.O. WATER USAGE: ≤ 1.28 GAL/FLUSH
	STAIR-1: STRAIGHT RUN "UP" AS SHOWN IN DIRECTION OF ARROW COMPLIANCE WITH 2016 CBC. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS BEFORE PERFORMING WORK. TREADS: 10" MIN, 12" MAX (DIVIDE EQUALLY). RISERS: 4" MIN, 7.75" MAX (DIVIDE EQUALLY). NOSING: A NOSING NOT LESS THAN 0.75" (19.1 MM) BUT NOT MORE THAN 1.25" (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11" (279 MM). HEADROOM: PER CBC 2013, STAIRWAYS SHALL HAVE A MIN. HEADROOM CLEARANCE OF 80" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS.

- ADDITIONAL FLOOR PLAN NOTES:**
- CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS. ALL REQUIRED UTILITIES PER MANUFACTURERS INSTRUCTIONS SHALL BE ROUTED BY A LICENSED PROFESSIONAL.
 - MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LISTED APPLIANCES SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTIONS PER 2016 CRC SEC. R106.1.2.
 - WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT AND SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY PER 2016 CRC SEC. R702.3.8 & R702.3.8.1
 - GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS SUCH AS WIRE GLASS, LAMINATED GLASS, TEMPERED GLASS, OR SAFETY PLASTIC AND TESTED IN ACCORDANCE WITH CPSC 16 AND CFR 1201, SEC. R308.3, CRC.
 - ALL WASTE VENTING SHALL BE PLACED MORE THAN 10' FROM, OR NOT LESS THAN 3' ABOVE, AN OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3' IN EVERY DIRECTION FROM A LOT LINE, ALLEY AND STREET EXCEPTED.
 - KITCHEN TO HAVE A DEDICATED EXHAUST FAN TO THE OUTSIDE. IF EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN, MINIMUM 100 CFMNS IS REQUIRED. IF EQUIPPED WITH CONTINUOUSLY OPERATED EXHAUST FAN AT 5 AIR CHANGES PER HOUR. THE RANGE HOOD OVER STOVE MAY COMPLY WITH VENTED TO OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.

LEGEND: FLOOR FINISH	
	CARPET: SEE SCHEDULES FOR ADDITIONAL INFORMATION.
	VINYL OR LINOLEUM: SEE SCHEDULES FOR ADDITIONAL INFORMATION.
	LAMINATE OR HARDWOOD: SEE SCHEDULES FOR ADDITIONAL INFORMATION.
	2X DECKING: SEE SCHEDULES FOR ADDITIONAL INFORMATION.

- NOTES: FLOOR FINISH**
- ANY AREAS WHERE WATER IS PRESENT FLOORING IS TO BE NON-ABSORBENT TILE OR VINYL FLOORING.



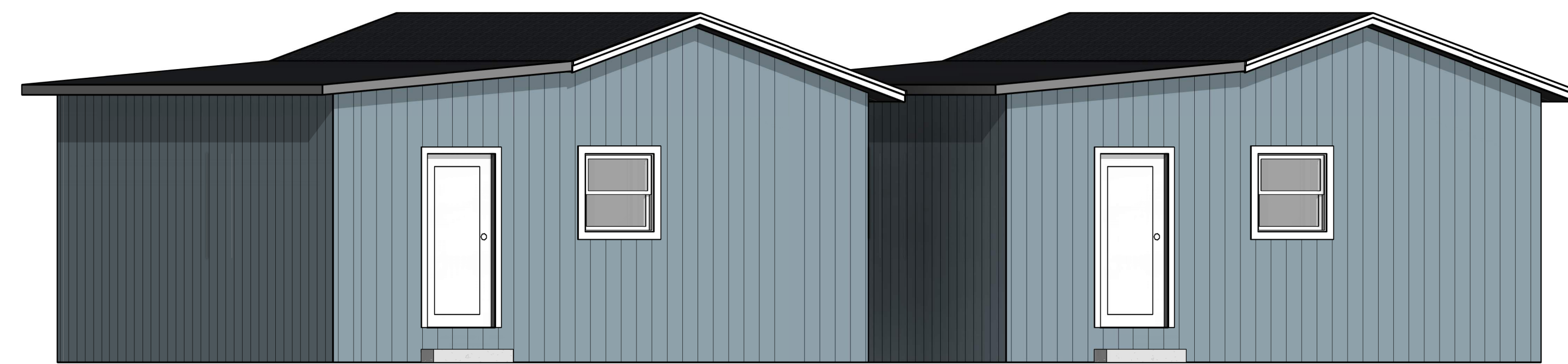
114 LEVEL-1 FLOOR PLAN
 1/4" = 1'-0"

Exhibit B



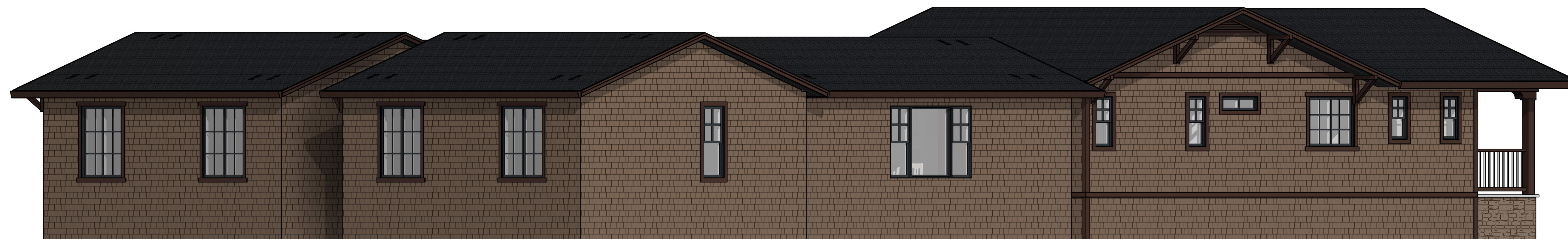
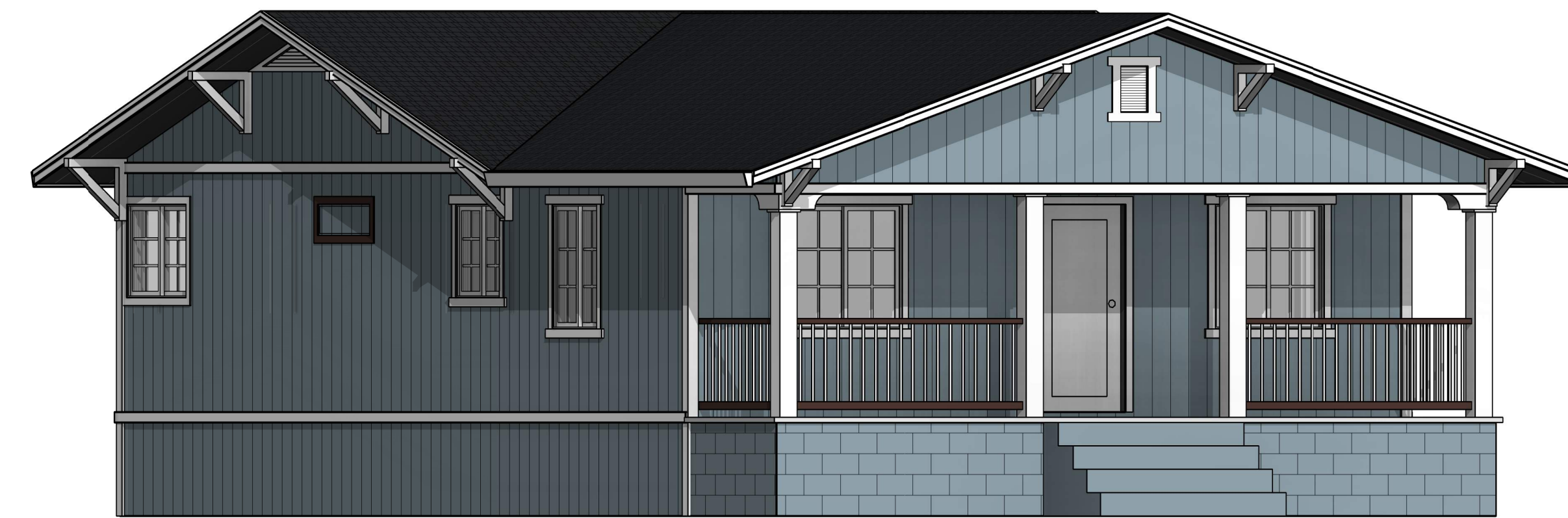
(N) NORTH FACING

4



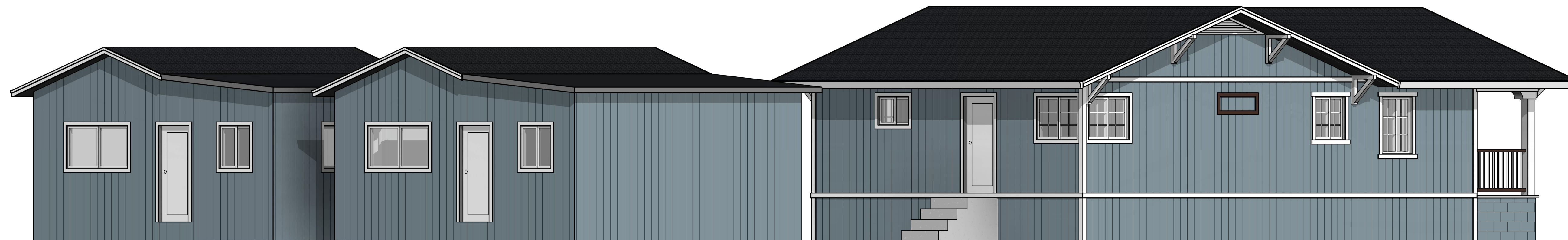
(E) NORTH FACING

3



(N) EAST FACING

2



(E) EAST FACING

1

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Homes, LLC

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114 ROSEVILLE STREET,
ROSEVILLE, CA 95678



TITLES:
PERSPECTIVE VIEWS

PLAN CHECK PC01
CONST. DOCUMENTS 04/24/2019
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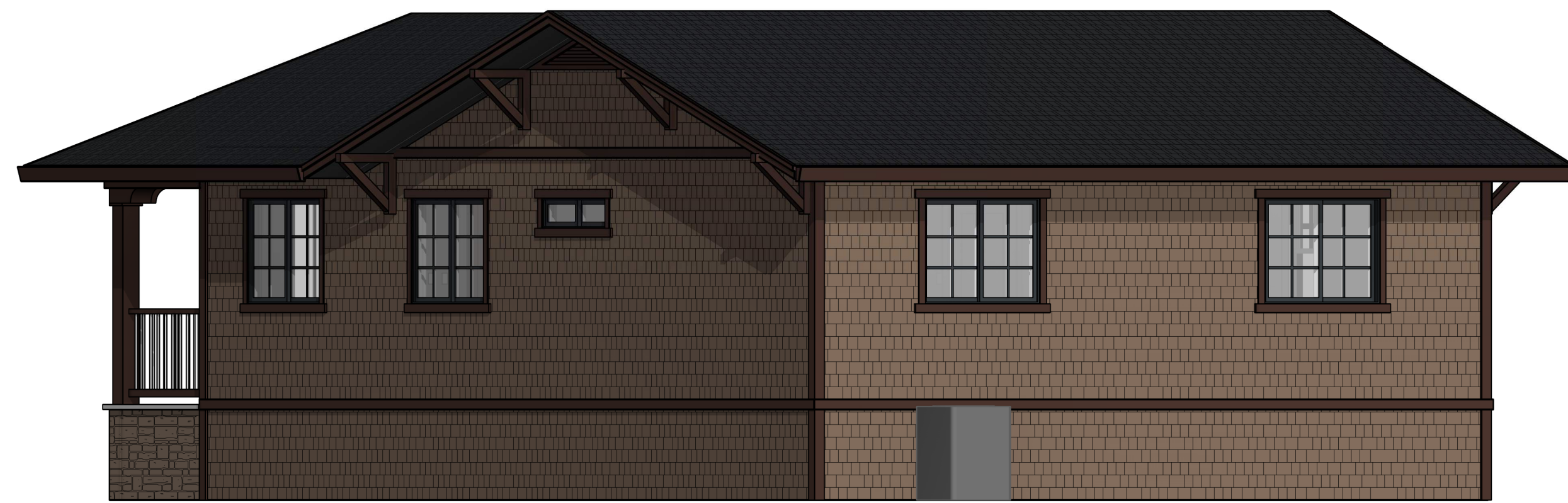
Exhibit B



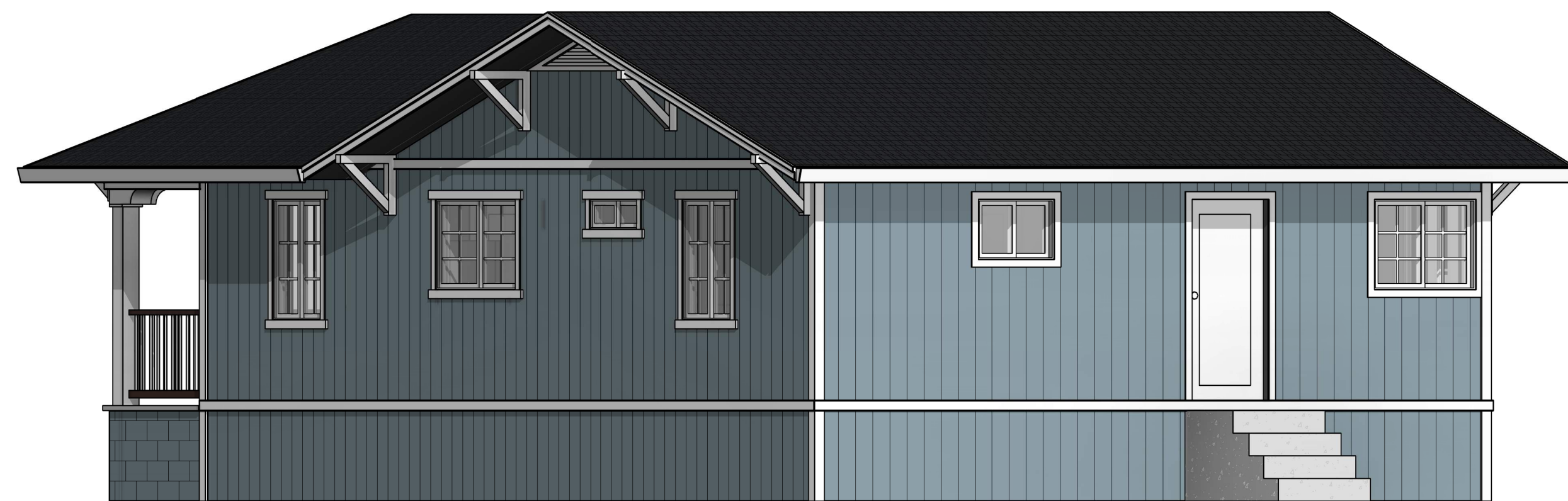
(N) WEST FACING 4



(E) WEST FACING 3



(N) SOUTH FACING 2



(E) SOUTH FACING 1

Greyscale
Homes, LLC

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